

MEMORANDUM

TO: Members of the Board of Zoning Appeals
FROM: Richard A. Hayward, City Manager
SUBJECT: Request for Variance - Mildred Palmer
DATE: June 3, 1987

505
W. River View

RECOMMENDATION

It is recommended that the Board of Zoning Appeals approve a Variance for Mildred Palmer to allow the location of a accessory building in the front yard setback at 345 West Front Street.

BACKGROUND

A petition has been received from Mildred Palmer, 345 West Front Street, Napoleon, Ohio requesting that she be granted a Variance to locate an accessory building in the front yard setback on her property. The accessory building is located in a "GB" General Business District which for residential uses requires the setbacks of the "C" Residential District. The setback for accessory uses in this case is 40 feet. Due to difficulty in determining the location of the front property line it is not possible to say the exact nature of the violation. As such, Staff has determined that a Variance is needed in order to make sure there is no violation.

Staff has reviewed the request and finds no problems in it. To date no protests to the request have been received.

The request meets the Standards for Variation in the following manner:

- 1) The old canal right-of-way makes is difficult to determine the location of the property line, which creates a exception situation.
- 2) The Variance is needed to allow the accessory building in this district which is a right enjoyed by others in the District.
- 3) Granting the Variance will not be materially detrimental to the public welfare.
- 4) Granting the Variance will not alter the land use characteristics of the district.

RAH:skw

WCC OR REQUIRED TO MEET THE
BUILDING CODE INCLD. FOUNDATION
& EXIT REQ.

MEMORANDUM

TO: Members of the Board of Zoning Appeals
FROM: Richard A. Hayward, City Manager *RAH*
SUBJECT: Request for Variance - United Pentecostal
Church
DATE: June 3, 1987

RECOMMENDATION

It is recommended that the Board of Zoning Appeals approve a Variance for the United Pentecostal Church to allow the location of a business sign in front of the Church located at 1033 West Washington.

BACKGROUND

A petition has been received from Gary Malone, representing the United Pentecostal Church located at 1033 West Washington, Napoleon, Ohio requesting that they be allowed to install a pedestal sign in front of the Church building. The Church is located in an "A" Residential Zoning District which does not allow signs of this nature without a Variance. Attached you will find a copy of what the Church proposes to install.

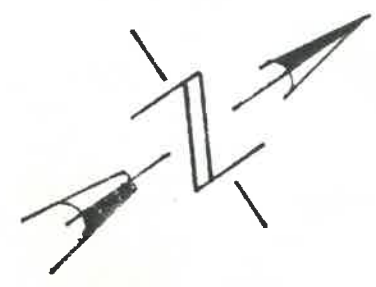
Staff has reviewed the request and finds no problems in it. The only question is whether the neighbors will accept it. To date ~~no~~ protests have been received, however, Staff's recommendation is based on no neighborhood protest.

The request meets the Standards for Variation in the following manner:

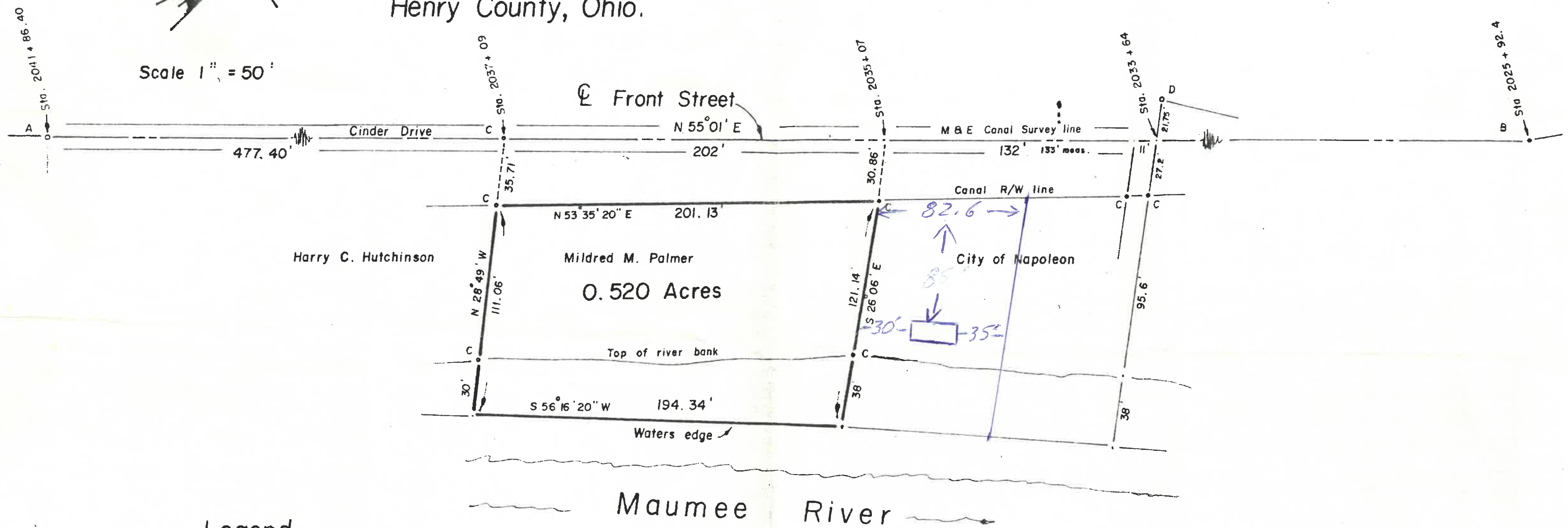
- 1) The Church is a business and needs a locational sign. It is in a residential district which creates a exception situation.
- 2) The Variance is needed to allow the sign in this district which is a right enjoyed by others businesses in the district.
- 3) Granting the Variance will not be materially detrimental to the public welfare.
- 4) Granting the Variance will not alter the land use characteristics of the district.

RAH:skw

Survey of a parcel of land in the City of Napoleon, lying between the lands of the Miami and Erie Canal and the Maumee River and being in the Southwest fractional quarter (1/4) of Section 13, T-5-N, R-6-E, Henry County, Ohio.



Scale 1" = 50'



Legend

- A - Iron pin over cast iron canal monument found from previous survey.
- B - Point found from reference ties.
- C - Iron pin found from previous survey.
- D - Iron pipe found from previous survey.



I hereby certify this survey and notes to be correct to the best of my knowledge.

Paul J. Westhoven
 Paul J. Westhoven
 Registered Surveyor No. 5602
 August 4, 1982.
 Survey No. 2324-H-CN-8-16-82.